

NORTH & EAST PLANS PANEL

THURSDAY, 26TH SEPTEMBER 2024



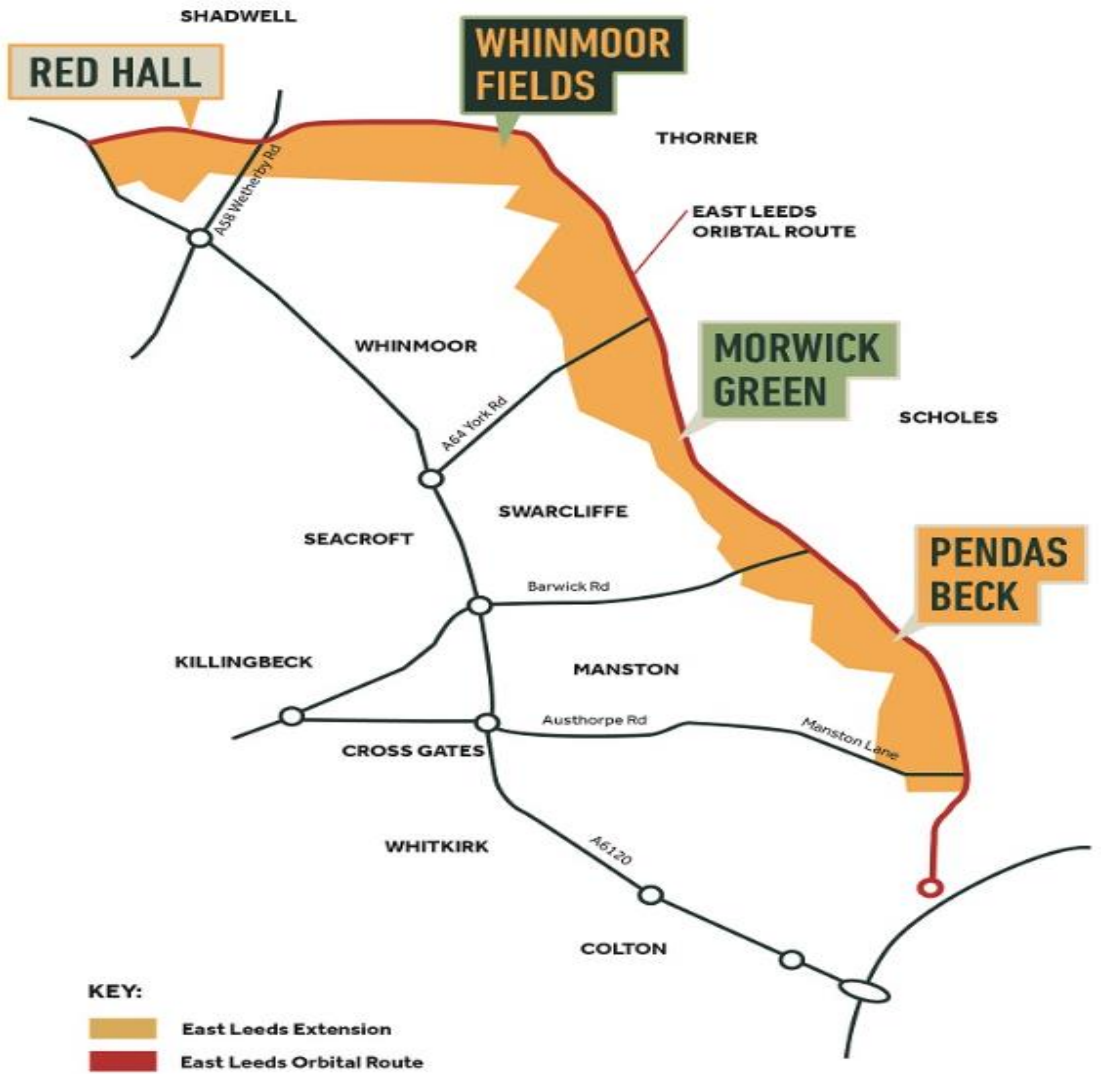
Doing our best – to be the Best Council in the Best City

APPLICATION:23/00848/RM

PROPOSAL: Reserved Matters planning application for matters relating to access, appearance, landscaping, layout and scale of the residential dwelling including the provision of 528 dwellings pursuant to outline application 20/04464/OT.

ADDRESS: Land To The South Of The A64 York Road And The North Of Leeds Road, Leeds























- Urban Edge**
- Design Details:**
- High level plots
 - Clay / Coloured brick windows & doors
 - Windows to all elevations
 - Mass concrete garage
- Construction Details:**
- Brick finish to side to all elevations
 - Brick finish exposed to ground floor up
 - Plain wall above windows to front & rear elevations
 - Plain masonry to parapets with stone cladding
 - Projecting eaves

- Contemporary**
- Design Details:**
- Terraced housing
 - Porcelain panels
 - Clay roof tiles
 - Clay / Coloured brick windows & doors
 - Windows to all elevations
 - Mass concrete garage
- Construction Details:**
- Plain brick finish to side to all elevations
 - Plain masonry to parapets with stone cladding
 - Plain roof structure
 - Projecting eaves

- Rural Edge**
- Design Details:**
- High level plots
 - Clay / Coloured brick windows & doors
 - Windows to all elevations
 - Mass concrete garage
- Construction Details:**
- Brick finish to side to front & rear elevations
 - Brick finish to side to side wall up
 - Brick finish to side to ground floor up
 - Plain masonry to parapets with stone cladding
 - Plain roof structure
 - Projecting eaves



Persimmon
 Residential Development
 Leeds City Council
 Planning Department
 15th Floor, City Hall, Leeds LS2 9BT

Scale: 1:5000	Project Name: [Blank]
Date: [Blank]	Client: [Blank]
Author: [Blank]	Project Manager: [Blank]
Checker: [Blank]	Project Engineer: [Blank]





INSET A



INSET B



LOCATION PLAN
Scale 17500

KEY

- Site boundary
- Existing trees/vegetation to be retained subject to Arboricultural Impact Assessment
- Indicative trees/vegetation to be removed subject to Arboricultural Impact Assessment

PROPOSED

- Native hedgerow
- Ornamental hedgerow
- Species rich meadow grass/wild flower mix; Emorsgate Basic Meadow Mix EM1 or similar approved
- POS - Amenity lawn seed; Naturscape NI4 or similar approved
- Front garden turf; Rowlawn Medallion or similar approved
- Rear gardens
- Native mixed woodland
- Ornamental planting
- Bulbs
- Trees (Root barriers to be utilised where necessary)
- Climbing plants
- Specimen shrubs
- SEAT (To include arms and back for accessibility)
- PB Picnic bench (suitable for disabled users)
- 3m wide footpath/ cycle link
- Ornamental gravel

Rev	Date	By	Note
B	14/08/24	KCh	Amends in line with client comments
A	12/08/24	KCh	Updated Layout

Apartment Block Samples
East Leeds Extension,
Middle Quadrant

Client: Persimmon Homes REV: B
 DRWG No: P22-2960_EN_0004
 Drawn by: NW
 Date: 01/02/2024
 Scale: 1:500 @ A3

Approved by: KC
PEGASUS
 GROUP





Ferworthy Front Elevation



Tarbert Rear Elevation



Ferworthy Side Elevation



Tarbert Side Elevation

Row A - 14.05.23 - C.26
 Window added to Ferworthy Long room gill
**PERSIMMON
 HOMES**
 Project:
 Apartment
 Site Name:
 Fer/Tar - Contemporary
 Scale: 1:500



Tarbert Front Elevation



Tarbert Rear Elevation



Tarbert Side Elevation



Tarbert Side Elevation

Row A - 10.10.23 - C.26
 Colour added to elevations
**PERSIMMON
 HOMES**
 Project:
 Apartment
 Site Name:
 Tarbert - Contemporary
 Scale: 1:500





Front Elevation

Side Elevation



Rear Elevation

Side Elevation



R25 RANGE

APARTMENT:
CRANBOURNE

1/100643
8th Jan 2024



Front Elevation

Side Elevation



Rear Elevation

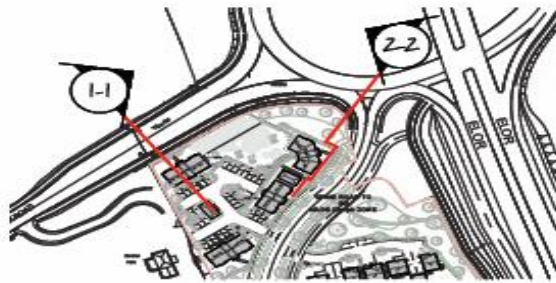
Side Elevation



R25 RANGE

APARTMENT:
FERNWORTHY-TARBERT

1100943
Rm Jan 2008



SECTION LOCATIONS
1 : 2500

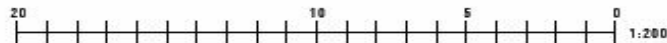


SECTION 1-1
1 : 200



SECTION 2-2
1 : 200

Rev.	Description	Date
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NORTH BOUNDARY, SITE SECTIONS - EAST LEEDS

PEGASUS@RBP.CO.UK | TEAM: LEEDS | DATE: 29/05/2024 | SCALE: A3: As Indicated | DRAWN BY: JB | P12-2142_DE_001_001 | CLIENT: PEGASUS







Street section 1-1 (Rural)



Street section 2-2 (Contemporary)



Street section 3-3 (Contemporary)



Street section 4-4 (Urban)



Indicative Layout Not To Scale @ A1



Street section 3-3 (Contemporary)



- Rev H - RLS 25.06.24 - Updated in line with latest changes to planning layout Rev F
- Rev G - RLS 28.11.23 - Updated in line with latest changes to planning layout Rev F
- Rev F - RLS 28.11.23 - Section 2-2 revised
- Rev E - RLS 11.11.23 - Updated in line with latest changes to planning layout Rev F
- Rev D - HJS - 25.09.23 - Updated in line with latest changes to planning layout Rev F
- Rev C - HJS - 15.09.23 - Updated in line with latest changes to planning layout Rev F
- Rev B - HJS - 15.06.23 - Updated in line with planning layout Rev E
- Rev A - RLS - 19.01.23 - Updated in line with planning layout Rev D



Proposed Development AL-MORWICK HOUSE MIDDLE QUADRANT LEEDS	
Proposed Street scenes	
Scale 1:200 @ A1	Drawing Number MGD-2922-05H
Drawn By HJS	November 2022
Checked By CJB	

ORCHARD TREES	
PLANT SPECIES	SIZE
<i>Malus domestica</i> 'Spartan Seedling'	MM106 Rootstock, 200-300cm ht
<i>Malus domestica</i> 'Charles Ross'	MM106 Rootstock, 200-300cm ht
<i>Malus domestica</i> 'Cox's Orange Pippin'	MM106 Rootstock, 200-300cm ht
<i>Prunus domestica</i> 'Eldon'	St. Julien rootstock, 200-300 cms ht, 12L pot, bush trained
<i>Prunus domestica</i> 'Lubbe'	St. Julien rootstock, 200-300 cms ht, 12L pot, bush trained
<i>Prunus communis</i> 'Beth'	Quince A rootstock, 200-300 cms ht, 2 year, bush trained
<i>Prunus communis</i> 'Concorde'	Quince A rootstock, 200-300 cms ht, 2 year, bush trained

TREES FOR FRONT GARDENS	
PLANT SPECIES	SIZE (GIRTH AND HEIGHT)
<i>Malus 'Rudolph'</i>	RB 10-12 cm 300-350 cm ht
<i>Malus 'Ritdale'</i>	RB 10-12 cm 300-350 cm ht
<i>Prunella 'Red Robin'</i>	RB 10-12 cm 300-350 cm ht
<i>Prunus 'Spin'</i>	RB 10-12 cm 300-350 cm ht
<i>Prunus subhirtella 'Autumnalis Rosea'</i>	RB 10-12 cm 300-350 cm ht
<i>Prunus 'Shanawest Seedling'</i>	RB 10-12 cm 300-350 cm ht
<i>Prunus 'Sunshine'</i>	RB 10-12 cm 300-350 cm ht

LOT HEDGEROW	
PLANT SPECIES	SIZE
<i>Chionodoxa</i>	SL 40-60cm ht
<i>Diagnos x ebdingii</i>	SL 40-60cm ht
<i>Saccoloma 'Agnes Blosson'</i>	SL 40-60cm ht
<i>Hesperis 'Vivida'</i>	SL 40-60cm ht
<i>Ignatum ovalifolium</i>	B 60-80cm ht
<i>Onicra nana</i>	SL 40-60cm ht
<i>Prunella 'Red Robin'</i>	SL 40-60cm ht
<i>Prunus laurocerasus 'Otto Luyker'</i>	SL 30-40cm ht

NATIVE HEDGEROW MIX		
PLANT SPECIES	SIZE	N
<i>Ulex europaeus</i>	B 40-60cm ht 1+0	10
<i>Corylus avellana</i>	B 40-60cm ht 1+0	5
<i>Crataegus monogyna</i>	B 40-60cm ht 1+0	80
<i>Hex aquifolium</i>	B 40-60cm ht 2L	5
<i>Prunus spinosa</i>	B 40-60cm ht 1+0	10
<i>Rosa canina</i>	B 40-60cm ht 1+0	5
<i>Viburnum opulus</i>	B 40-60cm ht 1+1	5



LEAP to be situated adjacent to the path for easy access, with natural surveillance from the proposed properties overlooking the space

Orchard trees would provide a valuable resource for the community

Boundary vegetation to be retained

Tree avenue planting along verge of primary road would add a strong sense of place and add structure to the streetscape

Central green corridor in a style with amenity grass and enclosed by a line which would provide properties adjacent

Entrance would be opened up by removal of existing vegetation. A native hedgerow would soften the view from York Road and native buffer planting would help integrate the site into its surroundings

SUDs underground attenuation storage to be integrated into its surroundings by utilising the space as a formal lawn grass area, surrounded by other elements as part of the 'parks and gardens' landscape.

Parks and gardens area would be easily accessible via a network of surfaced paths at varying widths leading to exciting features such as pleached tree avenues, raised planting beds and swales or ornamental shrubs and perennial planting creating an attractive setting for multiple seating areas and opportunities for walking and resting

Swales to be seeded with a wetland meadow mix which will enhance the ecology and blend into the surroundings











APPLICATION:24/02847/FU

PROPOSAL: Extensions and alterations to existing roof to create new first floor including hip to gable extensions to both sides, dormer window to rear and rooflights to front; new render to both sides; new windows to side and blocking up of existing window to rear; conversion of part of integral garage to habitable room; alterations to existing garage including new pitched roof and rooflights and render to front and rear elevations; widening of existing driveway including removal of part of front boundary wall

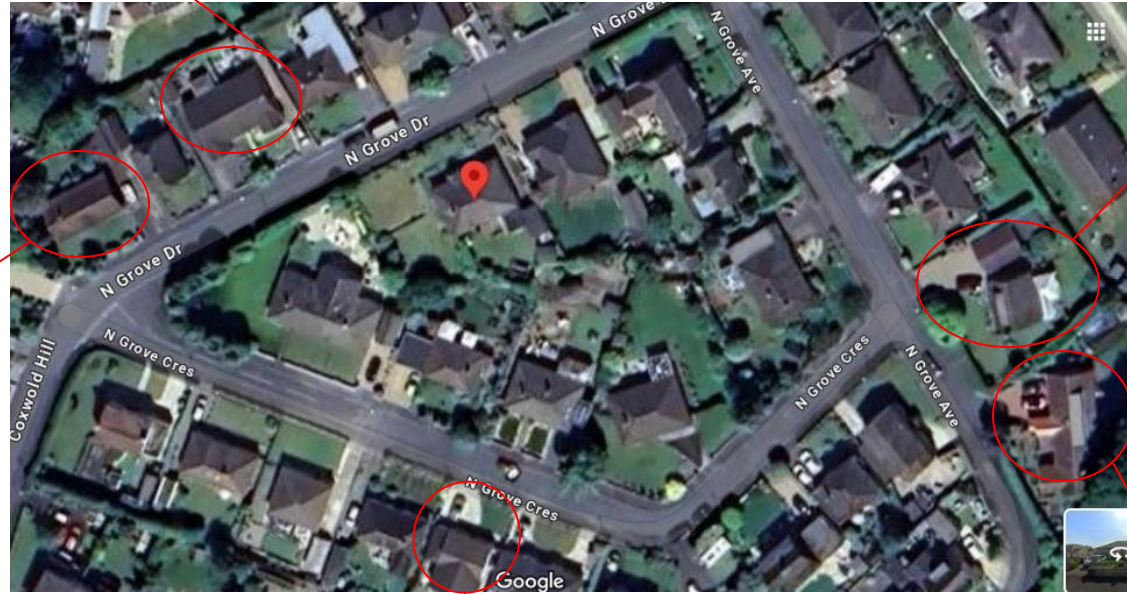
ADDRESS: 3 North Grove Drive, Wetherby, LS22 7QA



















1:100 FRONT ELEVATION



1:100 FRONT ELEVATION



1:100 REAR ELEVATION



1:100 REAR ELEVATION

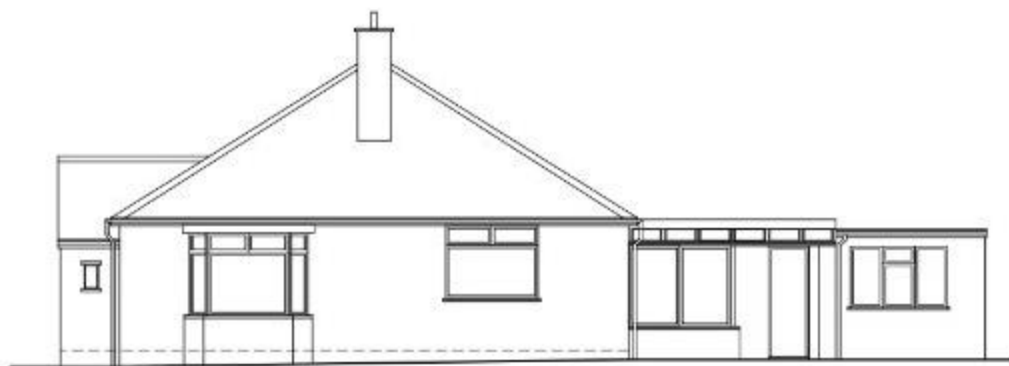


1:100 SIDE ELEVATION

roof windows
 gable walls to be rendered



1:100 SIDE ELEVATION



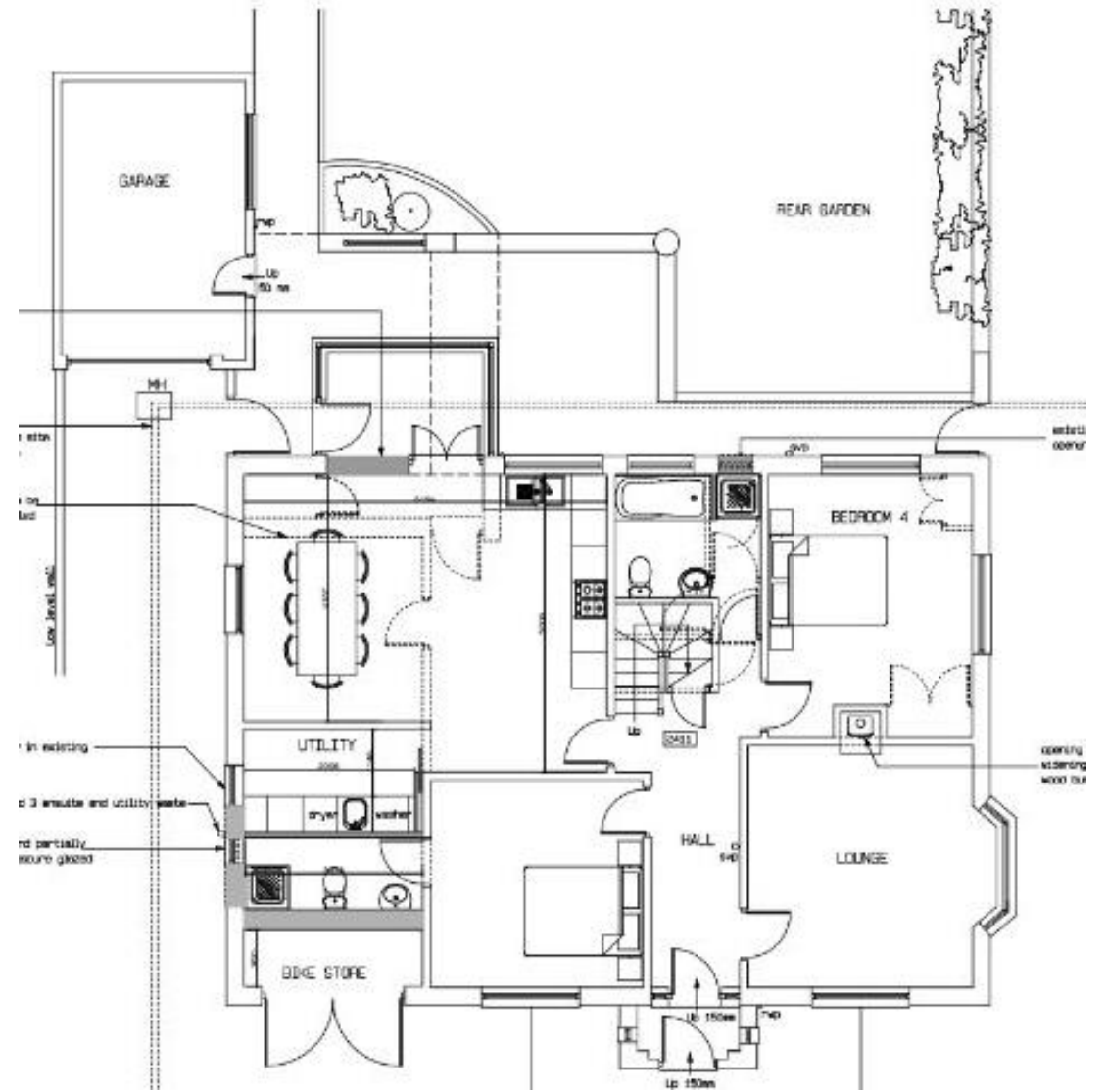
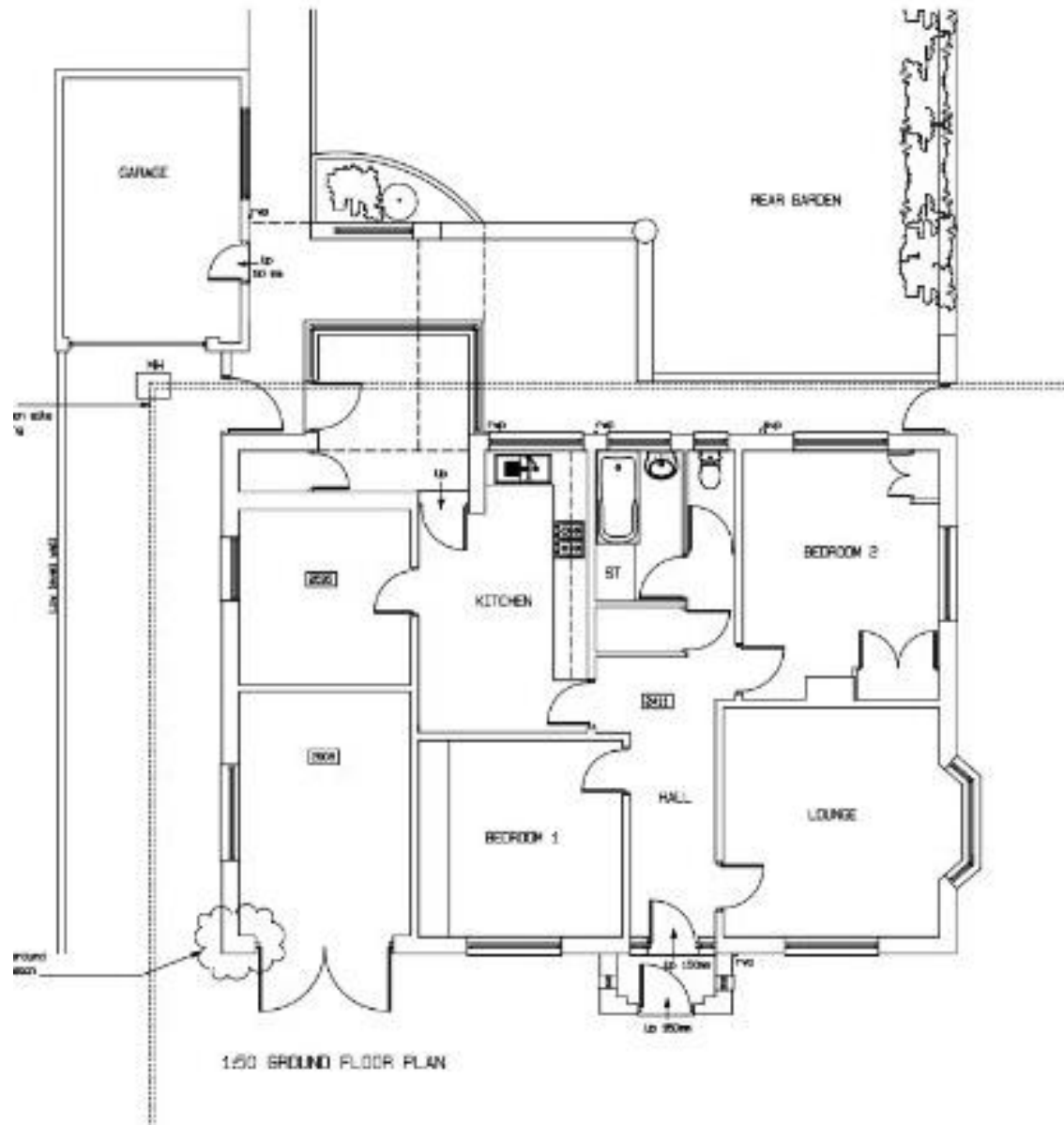
1:100 SIDE ELEVATION

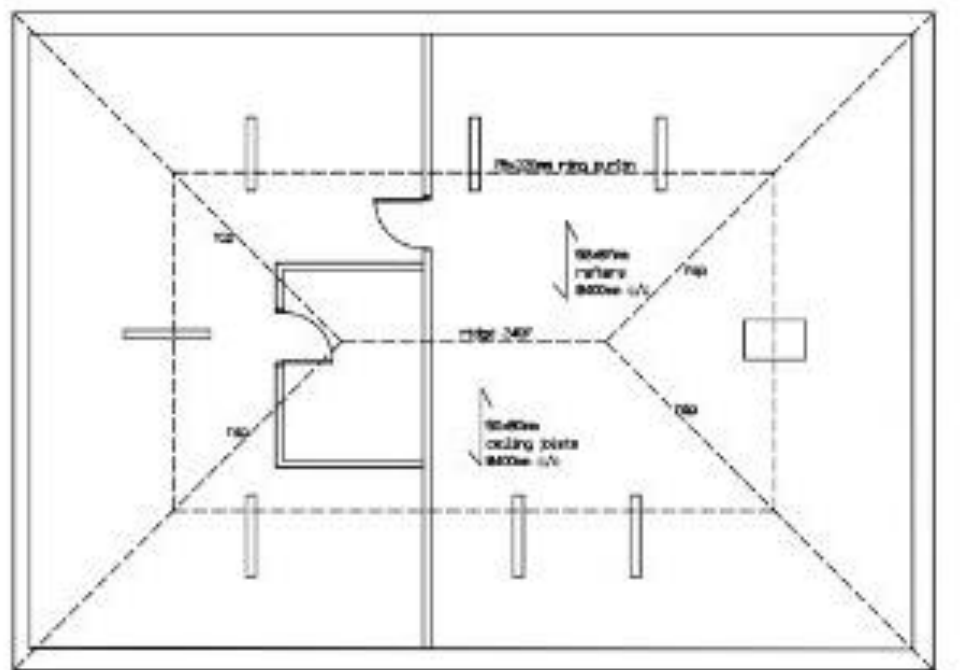
to closely match
 former

new pitched roof over
 garage with roof windows

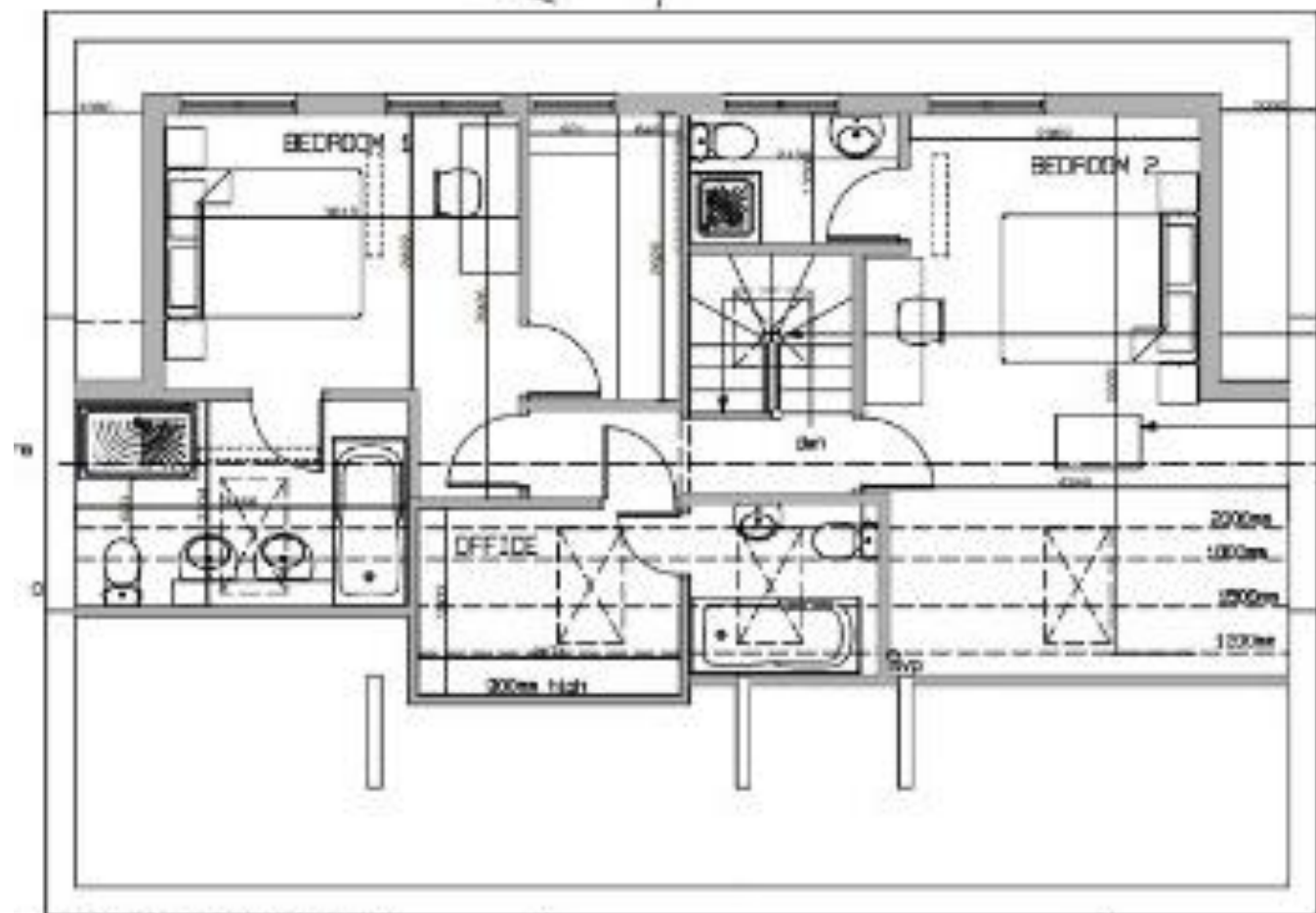


1:100 SIDE ELEVATION

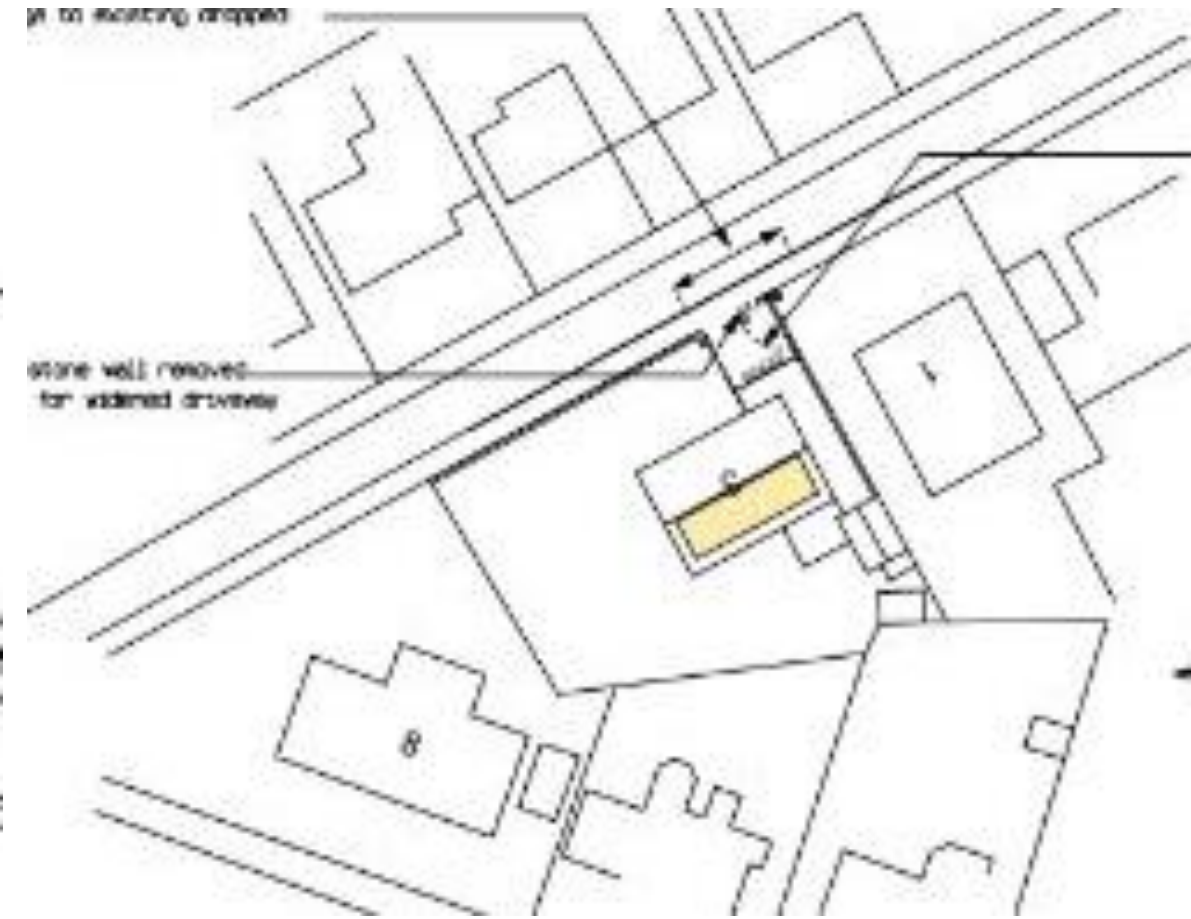
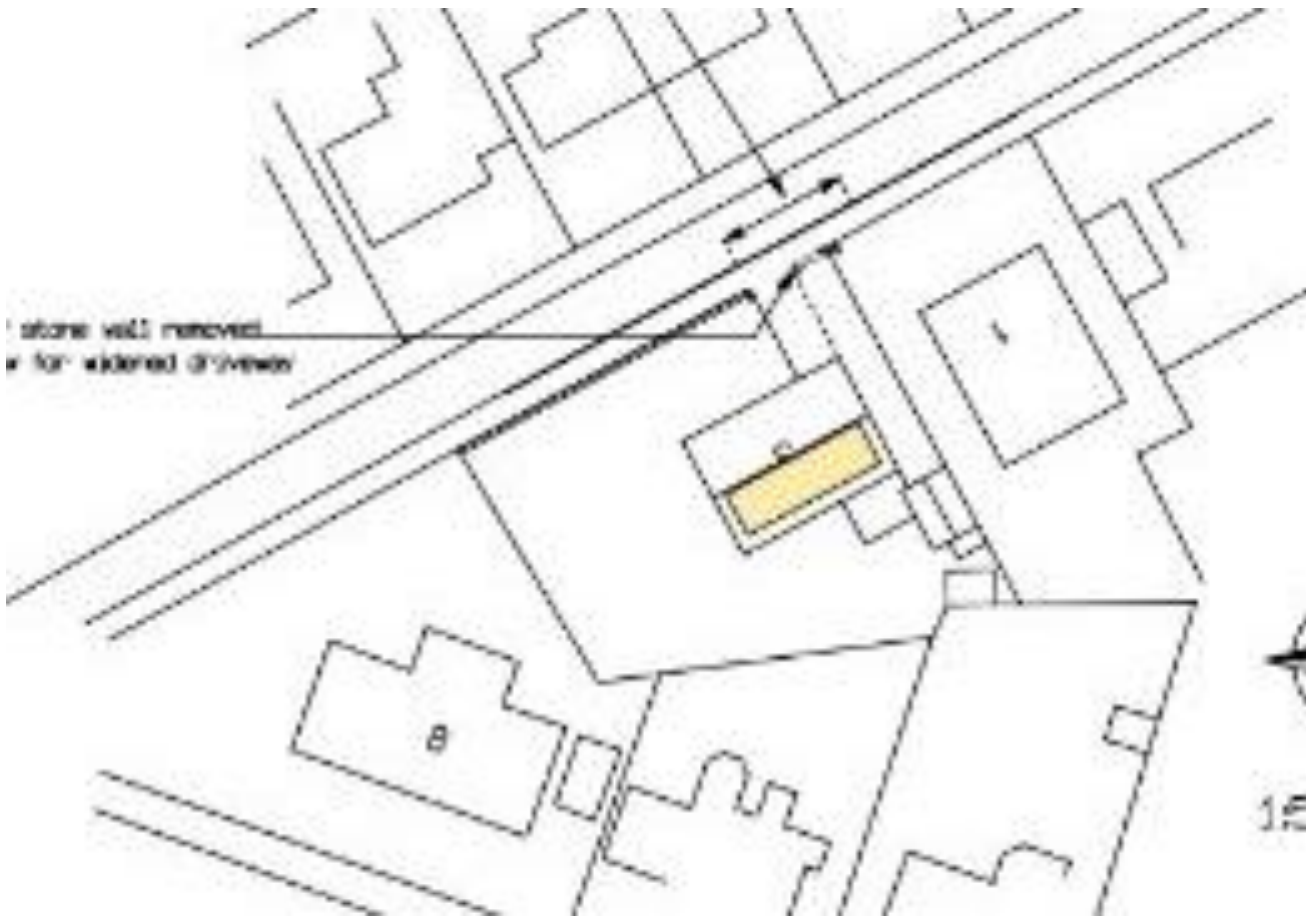




1:50 LOFT PLAN



1:50 FIRST FLOOR PLAN





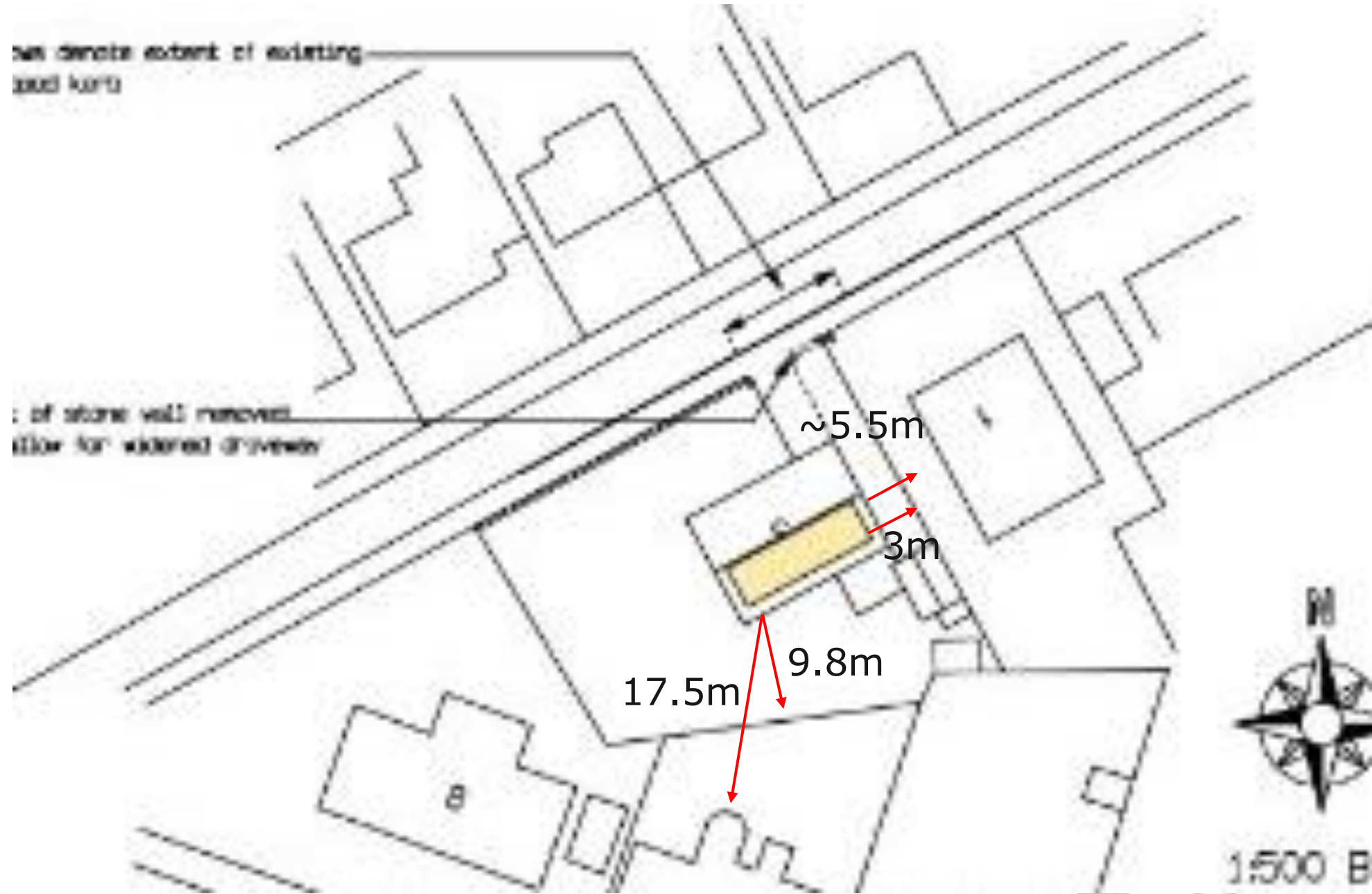
1:50 EXISTING ELEVATION SHOWING STONE WALL



1:50 PROPOSED ELEVATION SHOWING STONE WALL

can denote extent of existing
road works

: of stone wall removed
allow for widened driveway



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END OF PRESENTATION

